

New Dwelling, Shed
& Block Consolidation
Lot 28-29 DP6720
13-15 Dawson Street
Melinga NSW 2430
For Roxanne Farrell

Layout Index

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Concept Designs Australia Mob 0408 864184			
13-15 Dawson Street MELINGA NSW 2430			
Site Area (m²)	4046	Roof Area (m²)	347
Total Area of Garden and Lawn (m²)		500	
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the current BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
3* Showerheads	Yes	3* Toilet	Yes
3* Kitchen Taps	Yes	3* Basin Taps	Yes
Alternative Water			
45400 litre rainwater tank to be collected from minimum 347 m2 roof area			
Connected to :			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One outdoor tap	Yes	All Hot Water Services	Yes
All indoor cold water taps	Yes		
THERMAL COMFORT COMMITMENTS – refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Gas instantaneous		6 stars
Cooling System	Living	1-phase air conditioning - ducted	3 stars
	Bedrooms	1-phase air conditioning - ducted	3 stars
Heating System	Living	1-phase air conditioning - ducted	3 stars
	Bedrooms	1-phase air conditioning - ducted	3 stars
Ventilation	Bathroom	Individual fan ducted to façade or roof	Manual switch
	Kitchen	Individual fan ducted to façade or roof	Manual switch
	Laundry	Natural ventilation only	-
Natural Lighting	Window/skylight in kitchens		Yes
	Window/skylight in bathrooms/toilets	Yes	No 2
Artificial Lighting	80% of light fixtures are to be fitted with fluoresent, compact fluoresent or LED lamps.		
OTHER COMMITMENTS			
Outdoor clothesline	Yes	Indoor/sheltered clothesline	No
Stove/Oven	Electric cooktop and electric oven		

HERA Assessor # 10137	November 2024	CDA Reference: 4856
13-15 Dawson Street MELINGA NSW 2430		
Concept Designs Australia		Ph: 0408864184
leanne.cdaus@outlook.com		
Thermal Performance Specifications		
External Wall Construction	Insulation	Colour (Solar Absorptance) Detail
Brick Veneer	Vapour barrier + R2.0	Medium Except Garage
Brick Veneer	Vapour barrier	Medium Garage only
Internal Wall Construction	Insulation	Detail
Plasterboard on studs	None	
Plasterboard on studs	R2.0	Internal walls Garage
Ceiling Construction	Insulation	Detail
Plasterboard	R3.0	All ceilings adjacent to roof space (Except Garage)
Roof Construction	Insulation	Colour (Solar Absorptance) Detail
Colorbond	R1.3 anticon blanket	Dark
Floor Construction	Insulation	Covering
300mm waffle pod	None	Bare, Vinyl, Carpet and Tiles
Windows	Glass and frame type	U Value SHGC Details
GJA-003-027	Aluminium framed single clear	6.45 0.67 Sliding windows
GJA-080-001	Aluminium framed single clear	6.07 0.65 Hinged doors
GJA-070-016	Aluminium framed single clear	6.22 0.70 Sliding doors
U and SHGC values are according to AFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 5% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire regulations.		
Ceiling fans 1200mm ceiling fans to Dining, Media, Bed 1, Bed 2, Bed 3 and Bed 4		
Notes		
External doors to be weather stripped and windows to comply with AS 2047.		
This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.		
Exhaust fans to be fitted with self-closing dampers as per NCC.		
If metal frames are used, a revised assessment is required.		
Insulation specified must be installed in accordance with BCA Volume Two In some climate zones, insulation should be installed with due consideration of the condensation and associated interaction with adjoining building materials.		



Certificate No. 0011579141

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Assessor name

Leanne Houseman

Accreditation No.

10137

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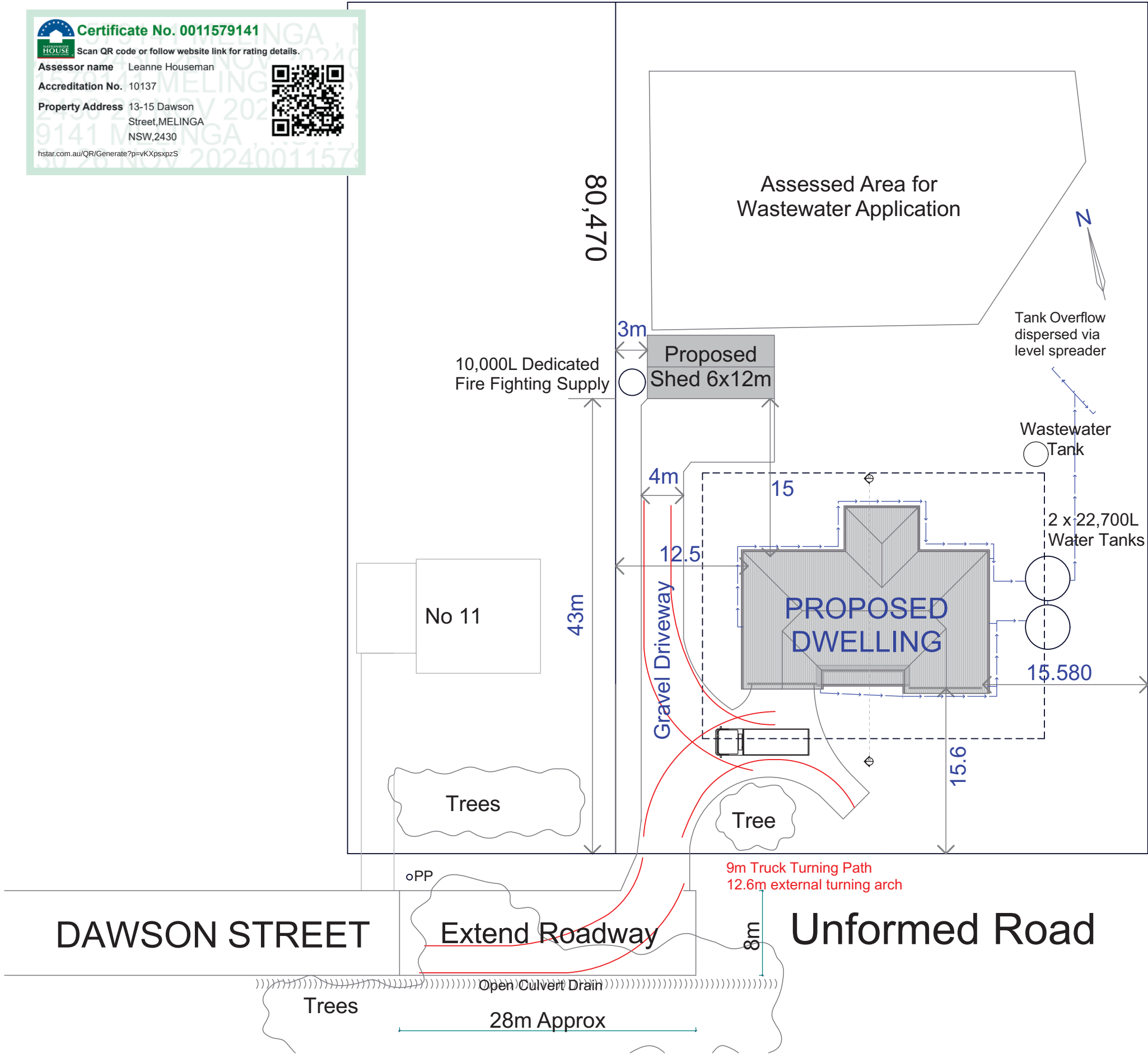
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GENERAL NOTES

- DO NOT SCALE OFF PLAN, FIGURED DIMENSIONS TAKE PREFERENCE
- ALL DEEMSIONS AND LEVELS TO BE CHECKED ON PLAN BEFORE WORK IS COMMENCED.
- ALL BUILDING WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVANT ACTS, BYLAWS REGULATIONS & CODES.
- ALL STRUCTURAL CONCRETE SHALL BE CONSTRUCTED TO CONFORM TO ENGINEERS INSTRUCTIONS & RELEVANT PARTS OF THE NCC
- PROTECTION FROM SUBTERRANEANE TERMITES TO COMPLY WITH AS3660-1 & NCC PART 3.4 TERMITE RISK MANAGEMENT.
- SITE DRAINAGE TO COMPLY WITH NCC PART 3.1.3 CLAUSES1-5
- VENTILATION TO COMPLY WITH NCC PART 3.8.5
- TIMBER FRAMING TO COMPLY WITH AS1684 & NCC PART 3.4.3
- ALL WET AREAS TO COMPLY WITH NCC PART10.2 & 3.8.1
- SMOKE ALARMS TO BE PROVIDED IN ACCORDANCE WITH AS3786 & NCC PART 3.7.2
- LIGHTING TO COMPLY WITH NCC PART 3.8.4
- STAIRS & RAMP CONSTRUCTION NCC PART3.9.1BARRIERS & BALISTRADES 3.9.2 & 11.3
- STEEL FRAMING TO COMPLY WITH AS1230, AS3623, AS4100 & NCC PART 3.4.0

ALL SITE CONTOURS AND FINISHED LEVELS TO BE VERIFIED BY BUILDER ON SITE

ALL CUT & FILL BATTERS WHERE NOT RETAINED TO BE OF NO GREATER SLOPE WHERE PRACTICAL OF 1:4 BATTERED EMBANKMENT.

BOUNDARY DIMENSIONS BORDERING ON MINIMUM LOCAL AUTHORITY SETBACKS TO BE VERIFIED BY SURVEYOR AT INITIAL SETOUT STAGE.

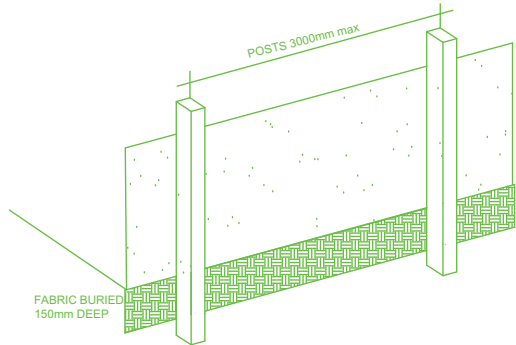
WHERE RETAINING IS REQUIRED ANY WALLS EXCEEDING 1.0M IN HEIGHT ARE TO BE DESIGNED BY A CERTIFIED ENGINEER.

STORMWATER GRATES ARE TO BE PLACED ON SITE SO AS TO ALLOW ANY EXCESS SURFACE WATER TO CUT AREAS ON SITE TO ESCAPE TO STREET SYSTEM.

NOTE :SITE EXCAVATION SHALL BE SUCH THAT A 900mm MIN WIDE BY 1:20 GRADE EXISTS AROUND PERIMETER OF BUILDING.

SEDIMENT CONTROLS

- ALL EROSION & SEDIMENT CONTROL MEASURES .INCLUDING REVEGETATION & STORAGE OF SOIL &TOPSOIL ,SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED & STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS CONSISTING OF 300 WIDE X 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS & TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAX OF 60 % FULL OF SOIL MATERIALS INCLUDING THE MAINTENANCE PERIOD.
- ALL DESTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL & TOPSOIL STOCK PILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES & AREAS WHERE WATER MAY CONCENTRATE.
- FILTER FENCE SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC BETWEEN POSTS 3m CENTERS & BURIED A MIN OF 150mm DEEP ALONG ITS LOWER EDGE.



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Revisions
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For Roxanne Farrell**

Drawing Title:
Site Plan

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Scale: 1:400 @ A3 Rev: **DR1**

Drawing No: **DR-01**

AREAS	
Main Living	214.6m2
Garage	41.2m2
Patio	15.8m2
Alfresco	22.4m2
TOTAL	294m2

NOTE : Recess all wet
area floors 45mm



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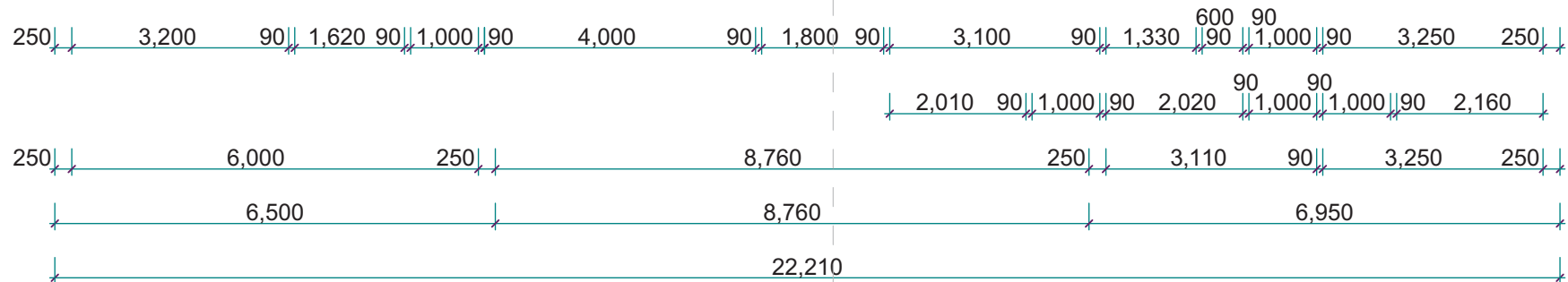
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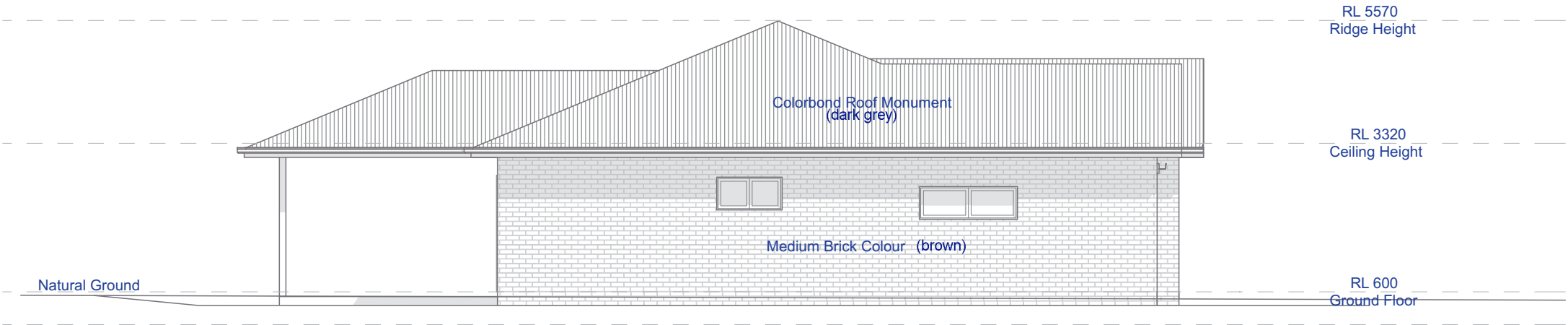
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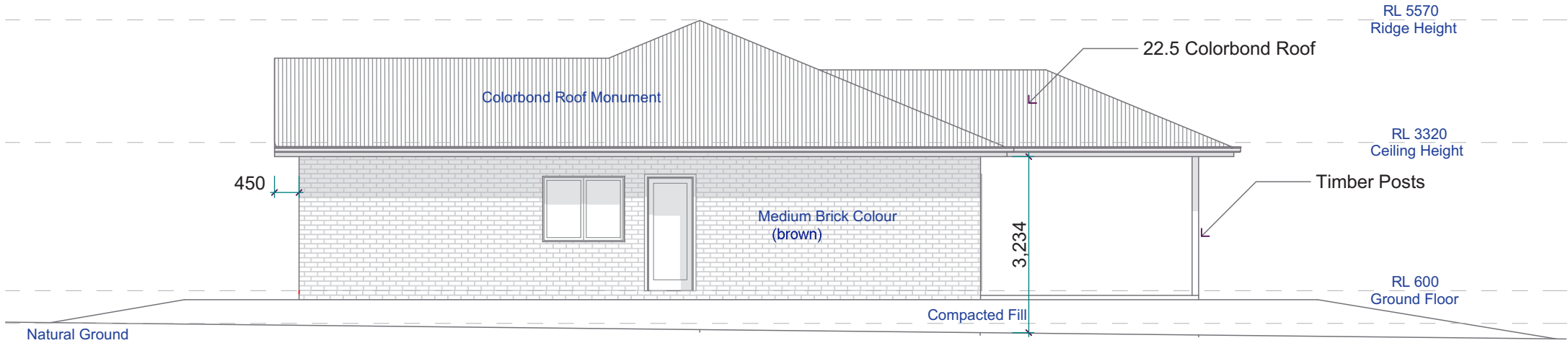
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DR1

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DR-03



Western Elevation



Eastern Elevation

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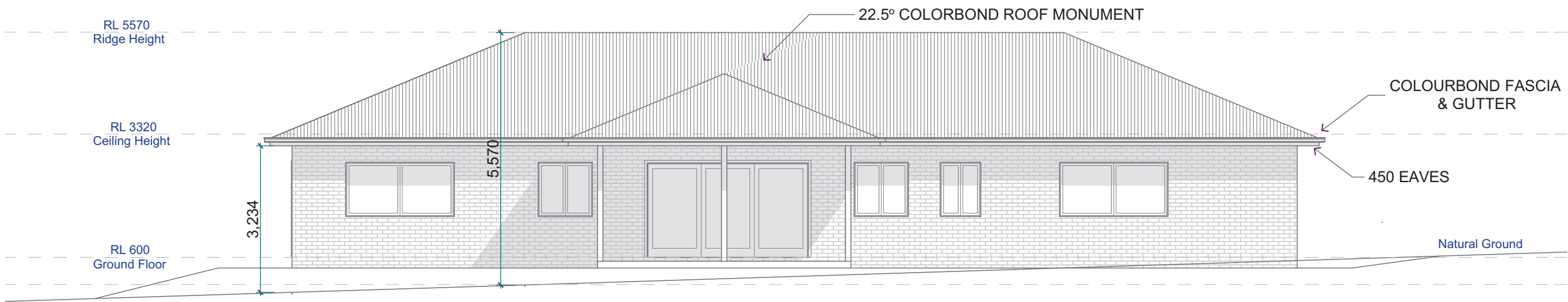


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						Scale: 1:100 @ A3	Rev: DR1
						Drawing No: DR-03	



Southern Elevation



Northern Elevation

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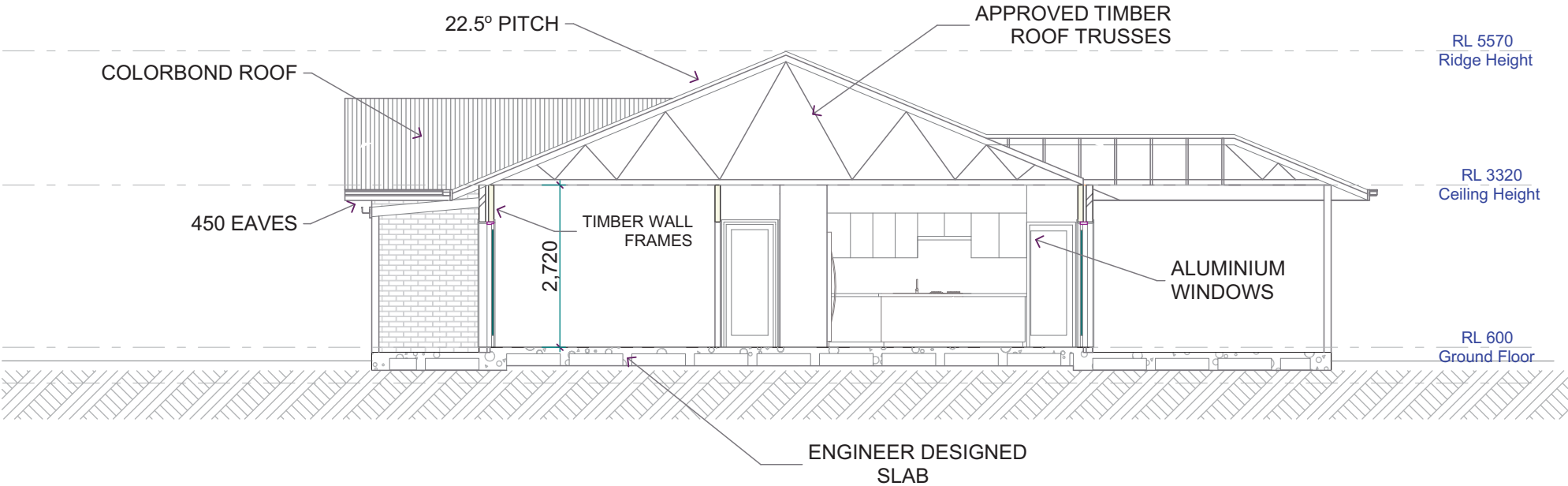
Project:

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For Roxanne Farrell

Drawing Title:

Elevations

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SECTION A1

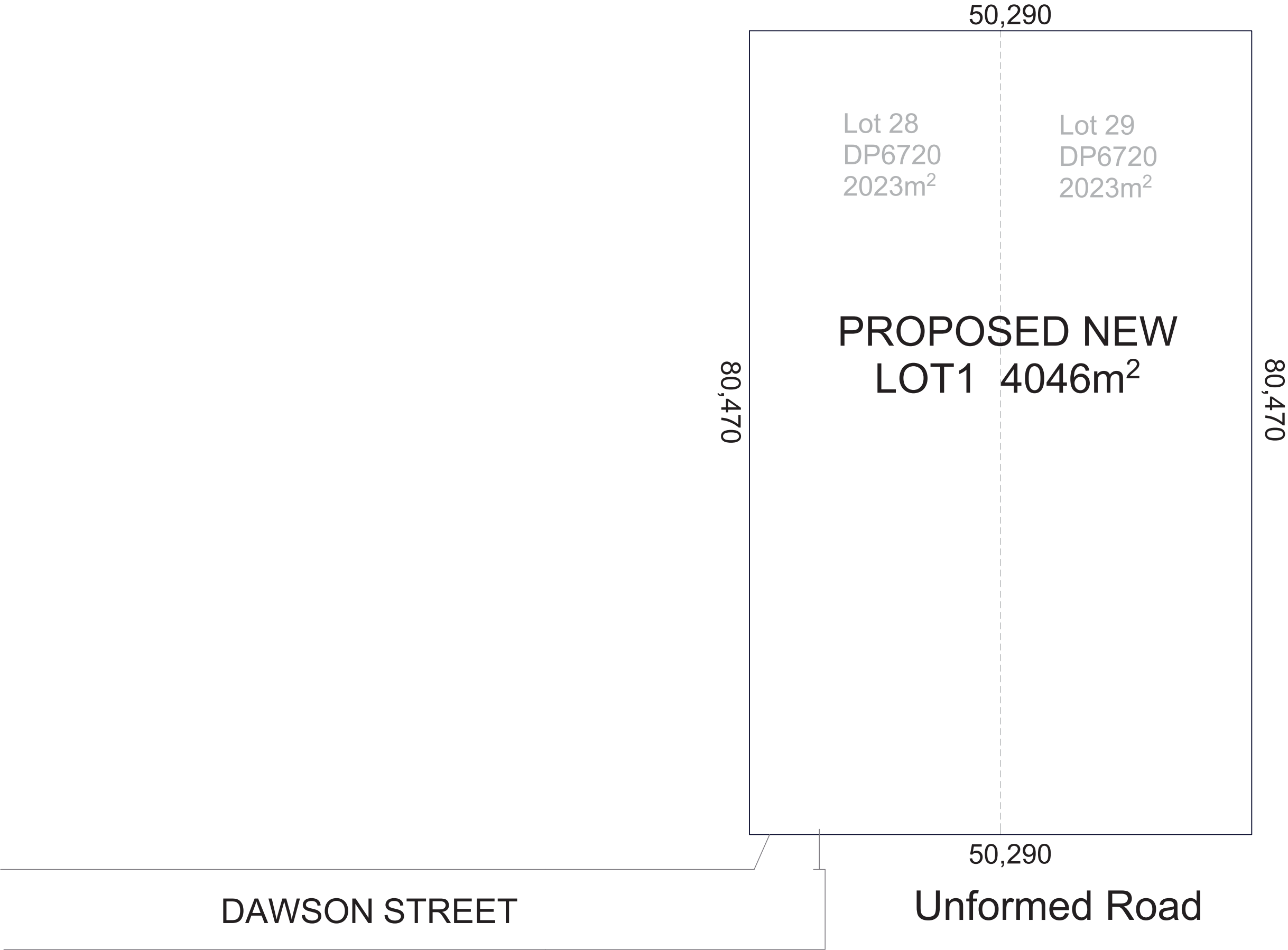
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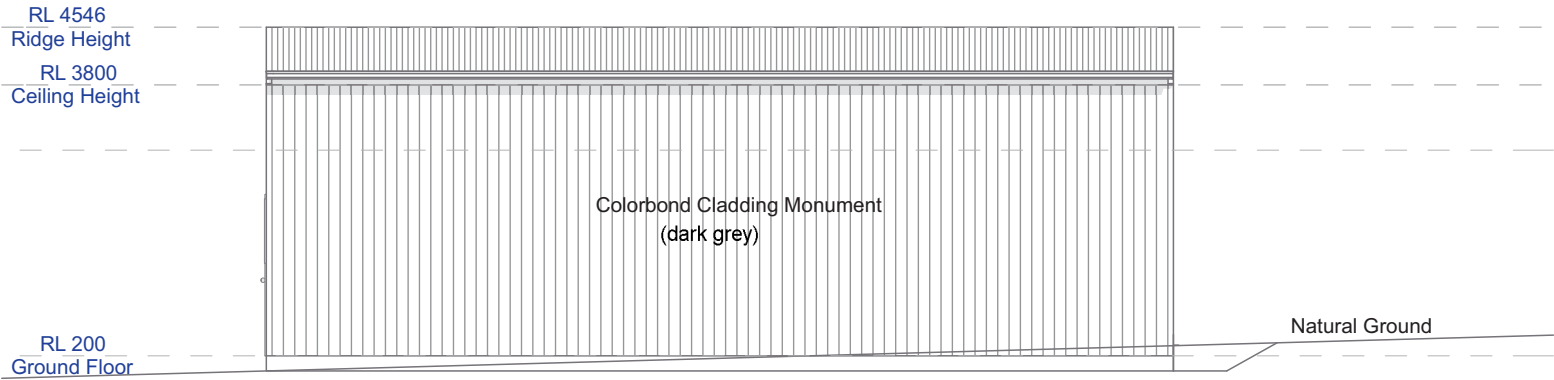
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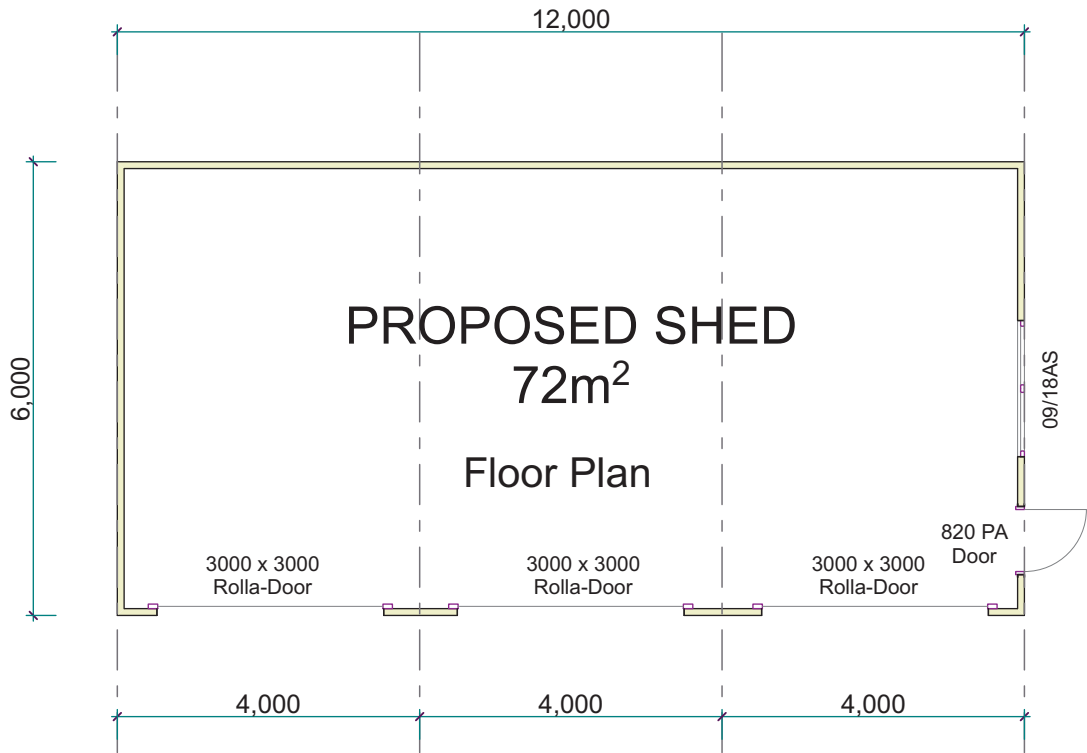
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Melinda NSW 2430
For Roxanne Farrell

Drawing Title:
Plan Of Subdivision

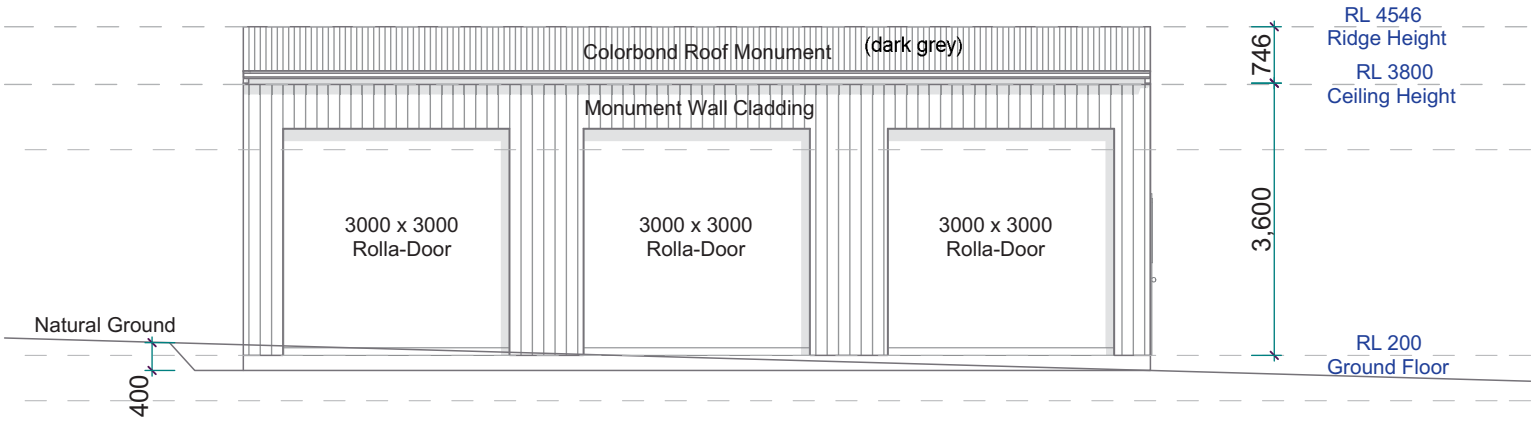
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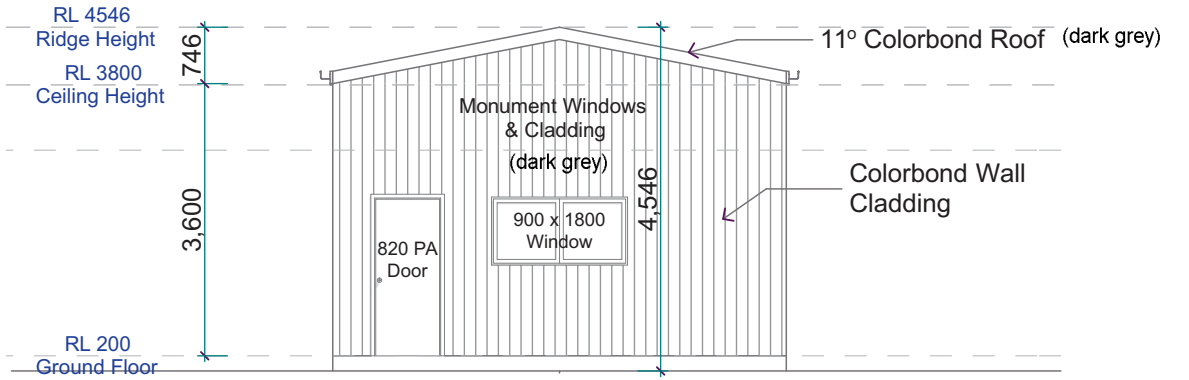
Northern Elevation



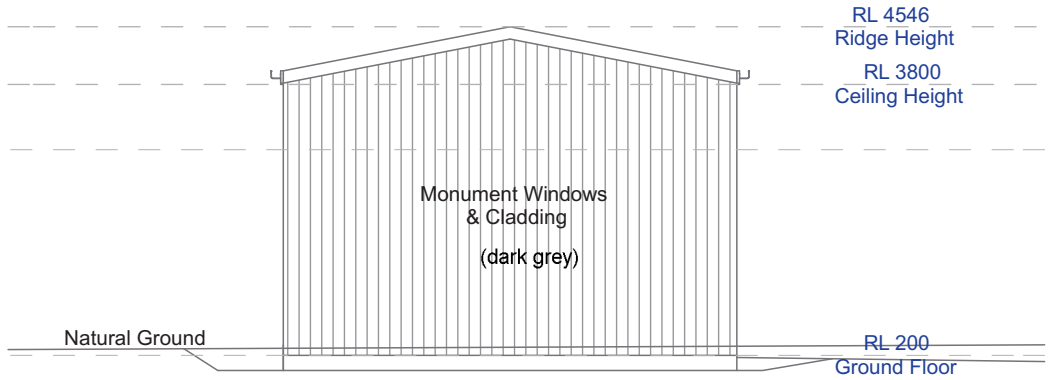
PROPOSED SHED
72m²
Floor Plan



Southern Elevation



Eastern Elevation



Western Elevation

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Drawing Title:

Shed Plans

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Drawing No: **DR-07**

-  Smoke Alarm
-  LED Down Light
-  LED Ceiling Light
-  Ceiling Fan
-  Ceiling Fan Light
-  Wall Light
-  Fan/Heat/Light
-  Sensor Light



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Lighting Plan

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Scale: 1:100 @ A3

Rev: **DR1**

Drawing No: **DR-08**